



CANNON'S HOTEL!

Dana Point





EXECUTIVE SUMMARY

Fully entitled Cannon's Hotel Development Site, with full and un-appealable California Coastal Commission and Dana Point Planning Commission approval. The development site is approved for a 100-room boutique luxury hotel located on a bluff-top overlooking the Dana Point Harbor and Marina with expansive, panoramic views of the Pacific Ocean and the California Coastline.

Architectural Design, Landscaping and Civil Engineering plans are complete. As currently designed, guestrooms will average approximately 400 square feet. Amenities will include a 1,300 square-foot restaurant and bar connected to a 400 square-foot outdoor cocktail / dining deck with ocean views. The hotel will also feature a 1,300 square-foot outdoor garden cafe and a 900 square-foot luxury spa. The five-level development is step tiered along the bluff terrain and will provide for parking on levels 1 through 3 (2 subterranean) with the guestrooms located on all 5 levels.

Approval from the California Coastal Commission provides for development of 100 rooms, of which 25 rooms will be required to provide affordable accommodations at a rate of \$144 upon opening of the hotel in 2023, increasing by 3% per year. The rate was determined based on the statewide ADR for July and August of 2019.

ENTITLEMENT SUMMARY

The Project received final un-appealable approval from the California Coastal Commission in the spring of 2021 when a formal Notice of Intent Permit was issued. In June of 2018, the City of Dana Point approved the Project, which allows for demolition of the existing structure and construction of a new 100-room hotel with a restaurant, cafe, spa and parking. The unique nature of the site atop the bluffs offers spectacular views overlooking the Dana Point Harbor and Marina, the Pacific Ocean and the Southern California coast. The site has undergone extensive analysis including seven years of design and re-design, including geologic and engineering studies that were required in order to obtain the final approval and permitting.





INVESTMENT HIGHLIGHTS

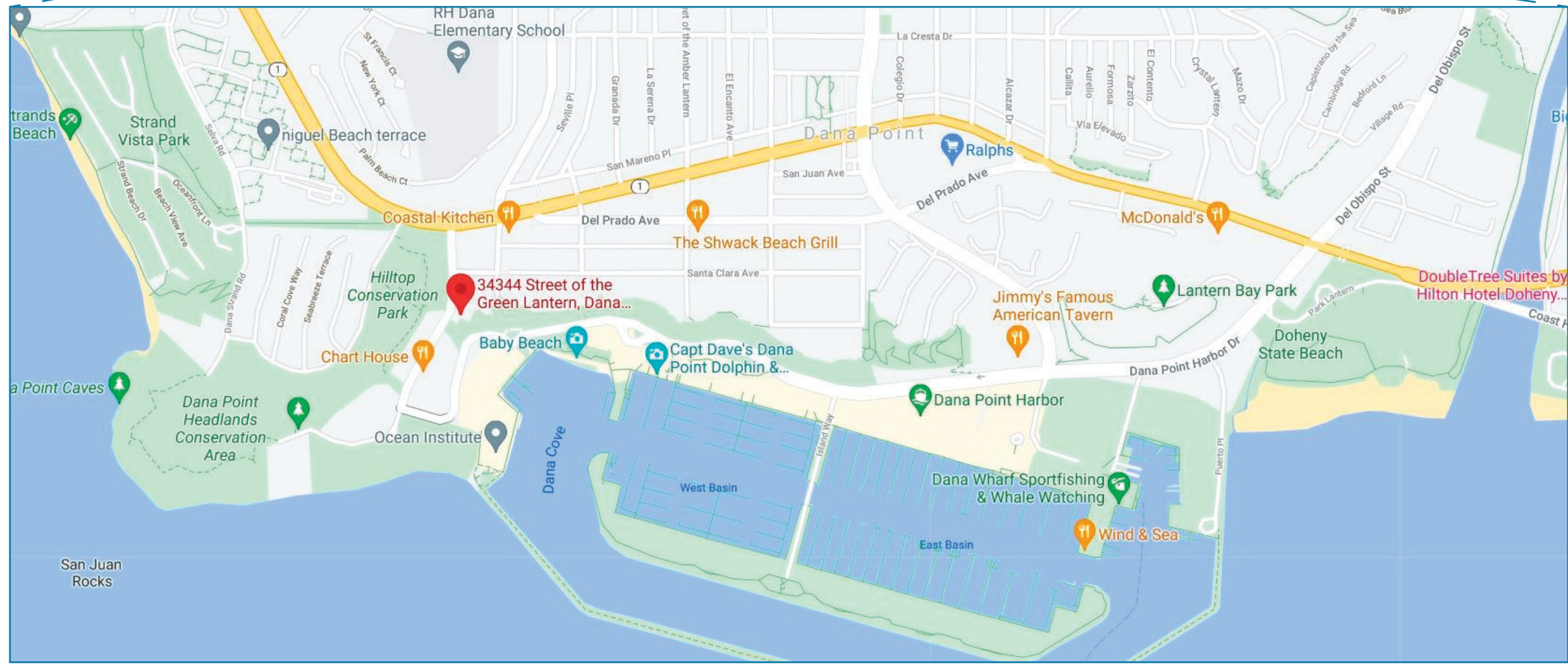
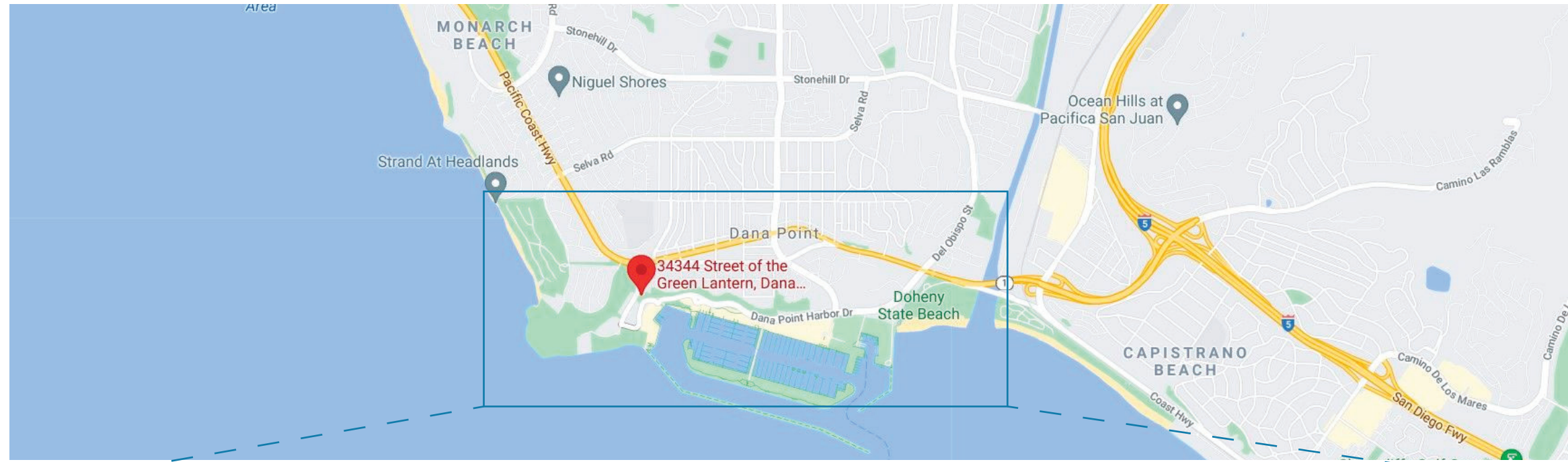
Extreme barriers to entry and no entitlement risk, with California Coastal Commission approval obtained on February 10, 2021.

City of Dana Point Planning Commission approval obtained.

The “Development Package” is close to complete allowing the purchaser to commence construction within a reduced time frame, which must occur before the Coastal Development Permit expiration on February 10, 2023.

An effort is underway to make Dana Point one of California's premier vacation destinations. Approved by the California Coastal Commission and Orange County in March of 2021, the Dana Point Harbor and Marina will be undergoing a \$338 million revitalization, including the addition of approximately 110,000 square feet of destination retail, restaurant, hotel and office space. This revitalization is anticipated to be developed in phases over the next five years.







FULLY ENTITLED COASTAL CALIFORNIA DEVELOPMENT SITE



LOCATION

The Cannon's Hotel Development Site offers unobstructed panoramic views of the Dana Point Harbor and Marina and the Pacific Ocean. The site was a popular destination for weddings, receptions and corporate events.

Located half-way between Los Angeles and San Diego, Dana Point is a popular transient leisure destination.

The site is located less than 1-mile south of Strand's Beach and only 15-minutes south of Laguna Beach via the scenic Pacific Coast Highway (PCH).

Upon completion of the Dana Point Harbor and Marina revitalization, Dana Point is poised to become one of the premier vacation destinations in Southern California. Annual visitor numbers are projected to double post-revitalization.

Dana Point is one of the few cities along the Southern California coast with a harbor, allowing it to offer recreational water sports, including boating, sailing, whale watching excursions and the Catalina Express shuttle, providing direct access to the city of Avalon on Catalina Island.

DEAL SUMMARY

Street Address: 34344 Street of the Green Lantern, Dana Point, California 92629

Total Rooms: Approved for 100 rooms, 25 of which must be offered as low cost accommodations

Total Building Size: 109,653 square feet on 5 levels, 2 of which are subterranean and 3 levels are above grade

Parking: 165 Spaces

Site: .92 acres fee simple



VIEW FACING NORTHEAST



VIEW FACING SOUTHEAST



VIEW FACING NORTHWEST



VIEW FACING NORTH





AMENITIES

100 Luxury Guestrooms averaging approximately 400 square feet

Restaurant and Bar, Cafe, Outdoor Patio and Luxury Spa

16 of the guestrooms will be suites ranging from 420 to 748 square feet

Ocean views from 64% of the guestrooms

Proximity to Dana Point Harbor and Marina, Restaurants and Beaches







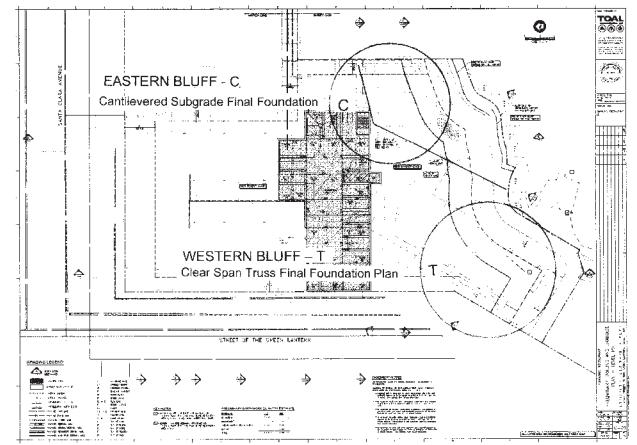




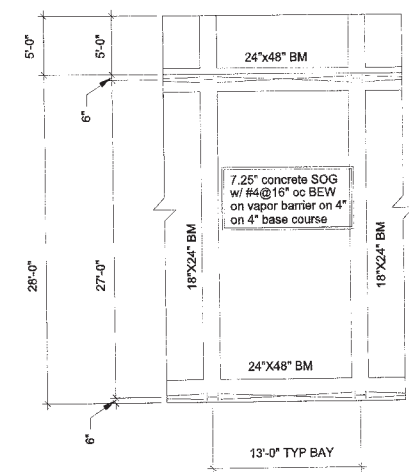




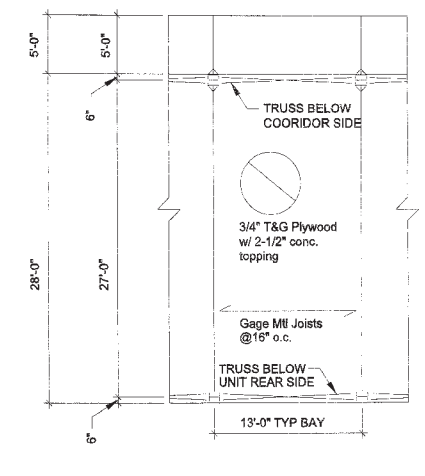
JOB: DANA POINT HOTEL	LIBBEY HEYWOOD, INC. STRUCTURAL ENGINEERS	SHEET 1 OF 4	JOB: DANA POINT HOTEL	LIBBEY HEYWOOD, INC. STRUCTURAL ENGINEERS	SHEET 2 OF 4
CLIENT: Lanor Architects		SHEET NUMBER: S-1	CLIENT: Lanor Architects		SHEET NUMBER: S-2
SUBJECT: S2 Truss Structure Solution		BY: SCH DATE: 3/11/21	SUBJECT: S2 Truss Structure Solution		BY: SCH DATE: 3/11/21



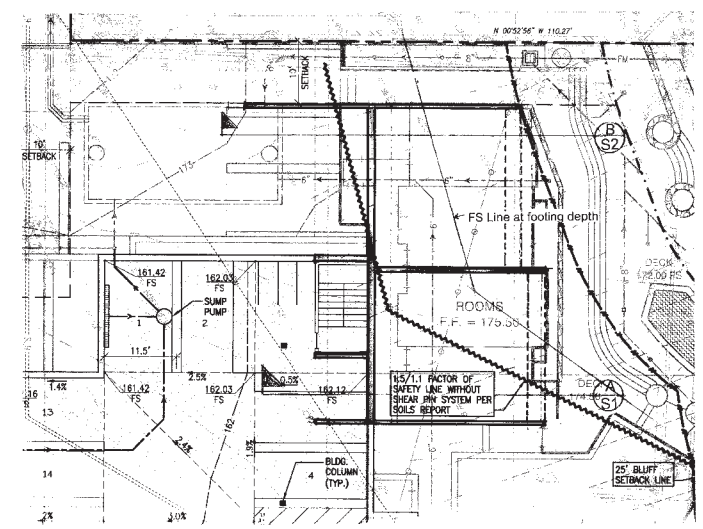
OVERALL SITE PLAN
Special Structural Design Areas



TYPICAL GRND FLR UNIT PLAN
NOT TO SCALE



TYPICAL 2ND FLR UNIT PLAN
TYPICAL ROOF SIMILAR
NOT TO SCALE

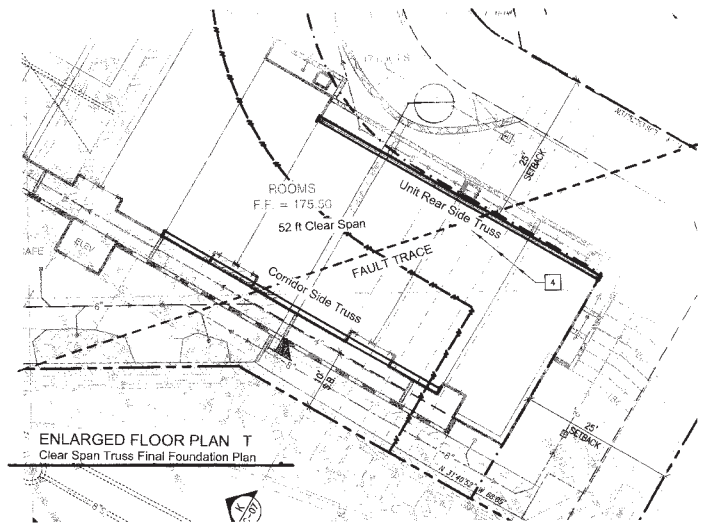


ENLARGED FLOOR PLAN C
Cantilevered Subgrade Final Foundation

FINAL FOUNDATION DESIGN
Special Structural Design Areas - Proof of Concept

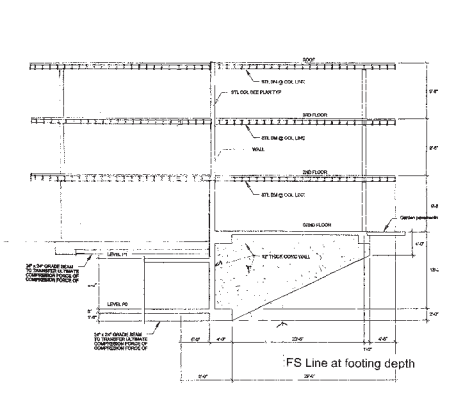
EASTERN BLUFF
Cantilevered Foundation Design
FINAL DESIGN

WESTERN BLUFF
Clear Span Truss Foundation System
FINAL DESIGN

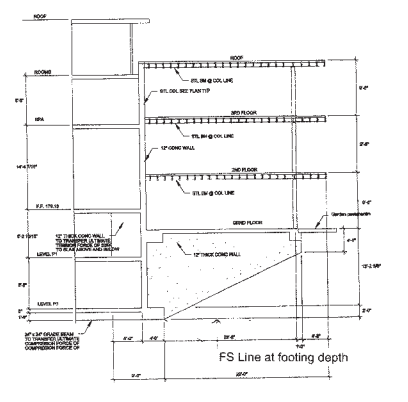


ENLARGED FLOOR PLAN T
Clear Span Truss Final Foundation Plan

JOB: DANA POINT HOTEL	LIBBEY HEYWOOD, INC. STRUCTURAL ENGINEERS	SHEET 1 OF X	JOB: DANA POINT HOTEL	LIBBEY HEYWOOD, INC. STRUCTURAL ENGINEERS	SHEET 1 OF X
CLIENT: Lanor Architects		SHEET NUMBER: S-2	CLIENT: Lanor Architects		SHEET NUMBER: S-1
SUBJECT: KNEE WALL SOLUTION		BY: SCH DATE: 3/11/21	SUBJECT: KNEE WALL SOLUTION		BY: SCH DATE: 3/11/21

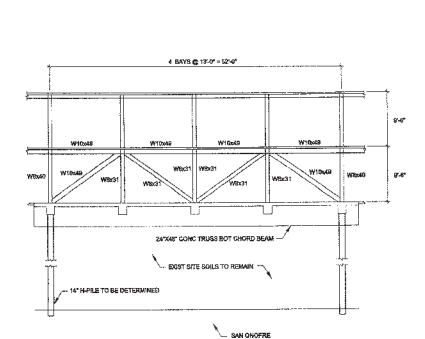


BUILD SECTION AT 'KNEE' WALL
NOT TO SCALE



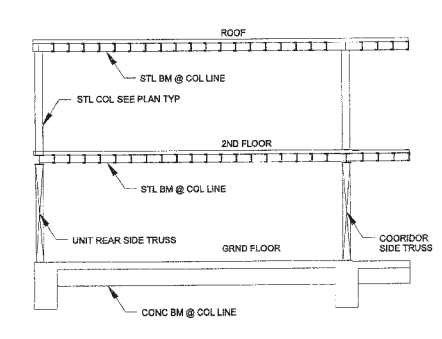
BUILD SECTION AT 'KNEE' WALL
NOT TO SCALE

JOB: DANA POINT HOTEL	LIBBEY HEYWOOD, INC. STRUCTURAL ENGINEERS	SHEET 3 OF 4	JOB: DANA POINT HOTEL	LIBBEY HEYWOOD, INC. STRUCTURAL ENGINEERS	SHEET 4 OF 4
CLIENT: Lanor Architects		SHEET NUMBER: S-3	CLIENT: Lanor Architects		SHEET NUMBER: S-4
SUBJECT: S2 Truss Structure Solution		BY: SCH DATE: 3/11/21	SUBJECT: S2 Truss Structure Solution		BY: SCH DATE: 3/11/21



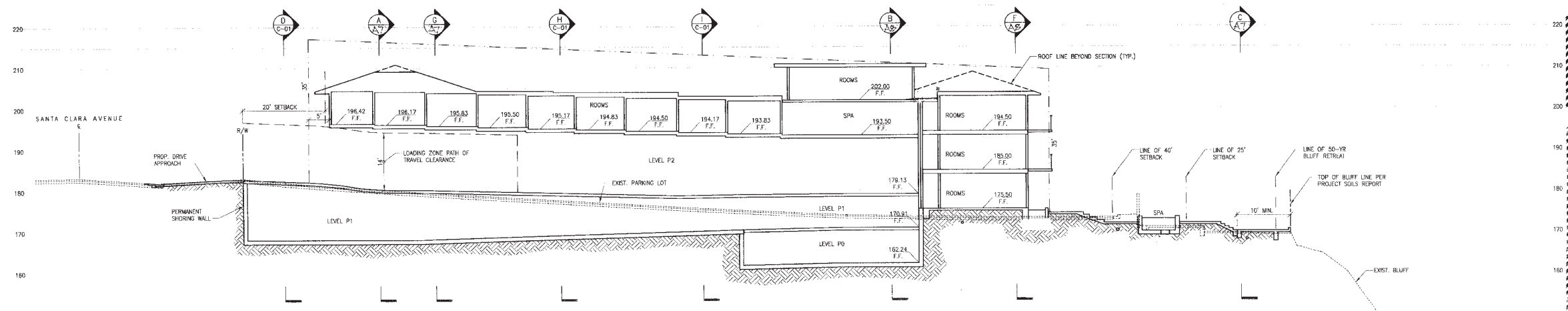
52' TRANSFER TRUSS ACROSS POOR SOILS
NOT TO SCALE

Notes: 1. Condition shown is the Corridor side truss. The unit rear side truss is similar only sized for reduced load.

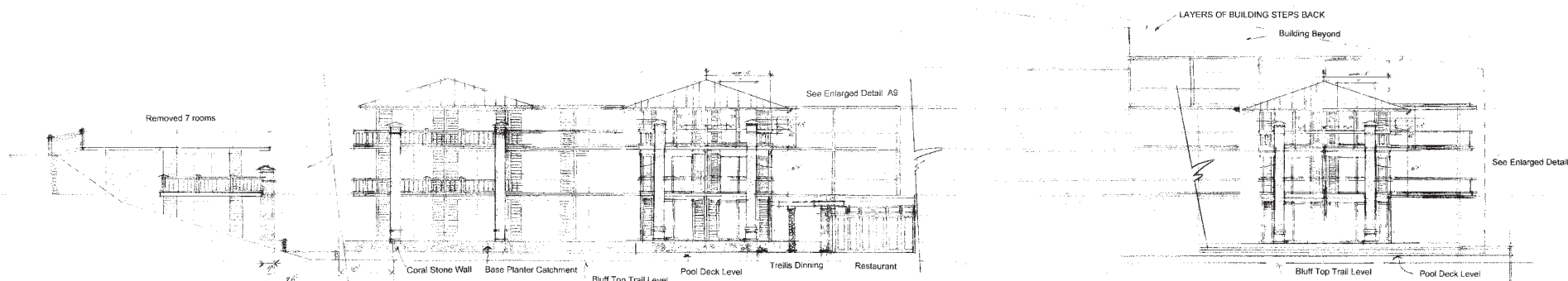


BUILD SECTION AT TRUSSES
NOT TO SCALE

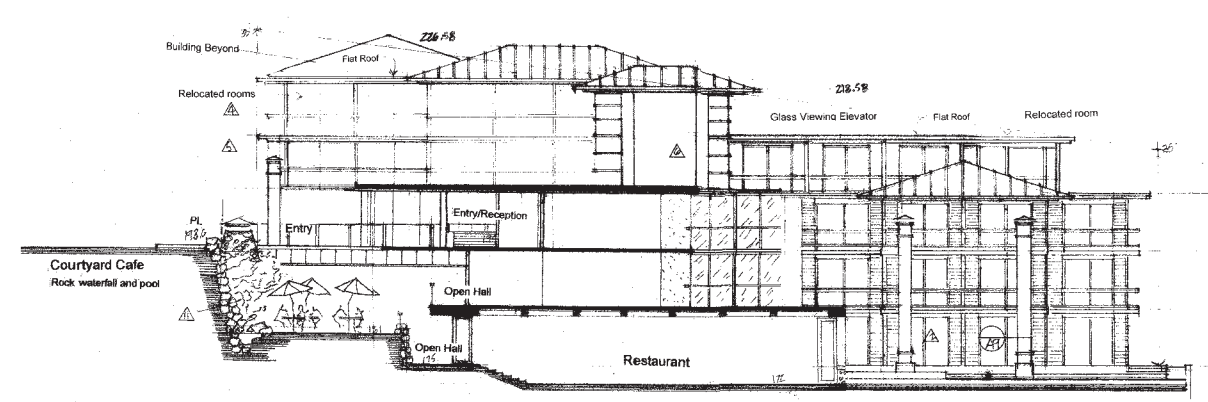
RESORT HOTEL at CANNON'S
 DANA POINT, CALIFORNIA
 FINAL FOUNDATION DESIGN
 Special Structural Design Areas - Proof of Concept
 A11
 April 30, 2021
 March 10, 2021



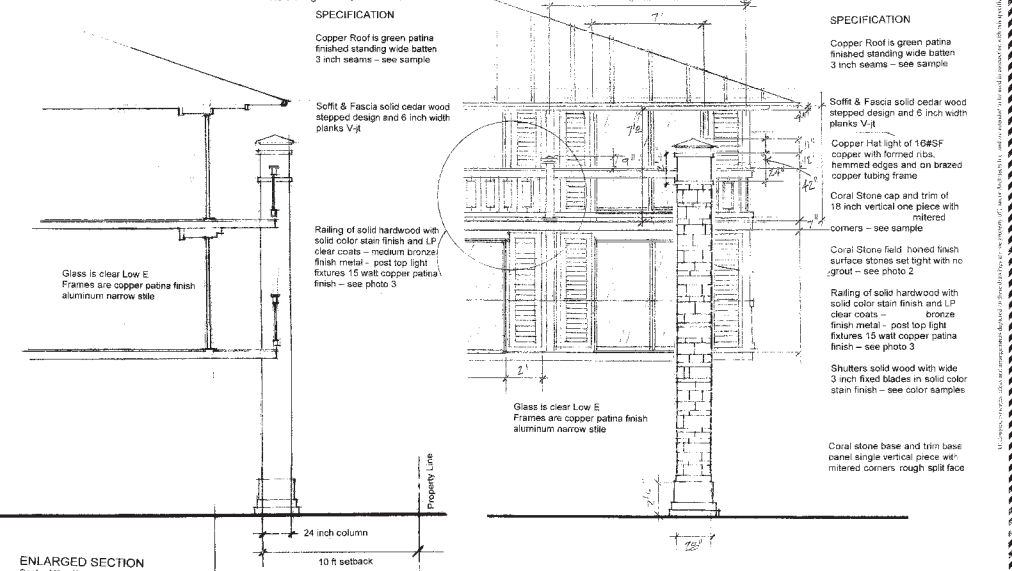
SECTION
SCALE 1" = 10'



ELEVATION AT BLUFF
SCALE 1" = 10'



SECTION AT ENTRY AND ELEVATION AT BLUFF
SCALE 1" = 10'



ENLARGED SECTION
SCALE 1/4" = 1"

ENLARGED WALL/COLUMN SECTION ELEVATION
SCALE 1/4" = 1"

- EXTERIOR MATERIALS**
- ▲ BALCONY RAIL - Hardwood opaque stain with bronze formed picket and integral copper finish light fixtures
 - ▲ COLUMNS - coral stone - see Enlarged Detail A9
 - ▲ WINDOWS - mullions and trim in patina copper finish matching roof patina copper
 - ▲ ROOF - Patina Copper coated wide batten standing seam roof
 - ▲ FASCIA - and stepped layered soffit in western red cedar - semi-transparent stain
 - ▲ WALLS - stucco with paint finish
 - ▲ GLASS - clear low e rated
 - ▲ PAVING - Entry drive, walks, dock, walkways in coral flagstone
 - ▲ WATER FEATURE - Glass Color Tile Lammar Flow all sides
 - ▲ SPA ENTRY POND - Glass Color Tile
 - ▲ WATERFALLS - Coral Stone rock texture
 - ▲ ENTRY BREEZEWAY - Travertine Stone honed finish

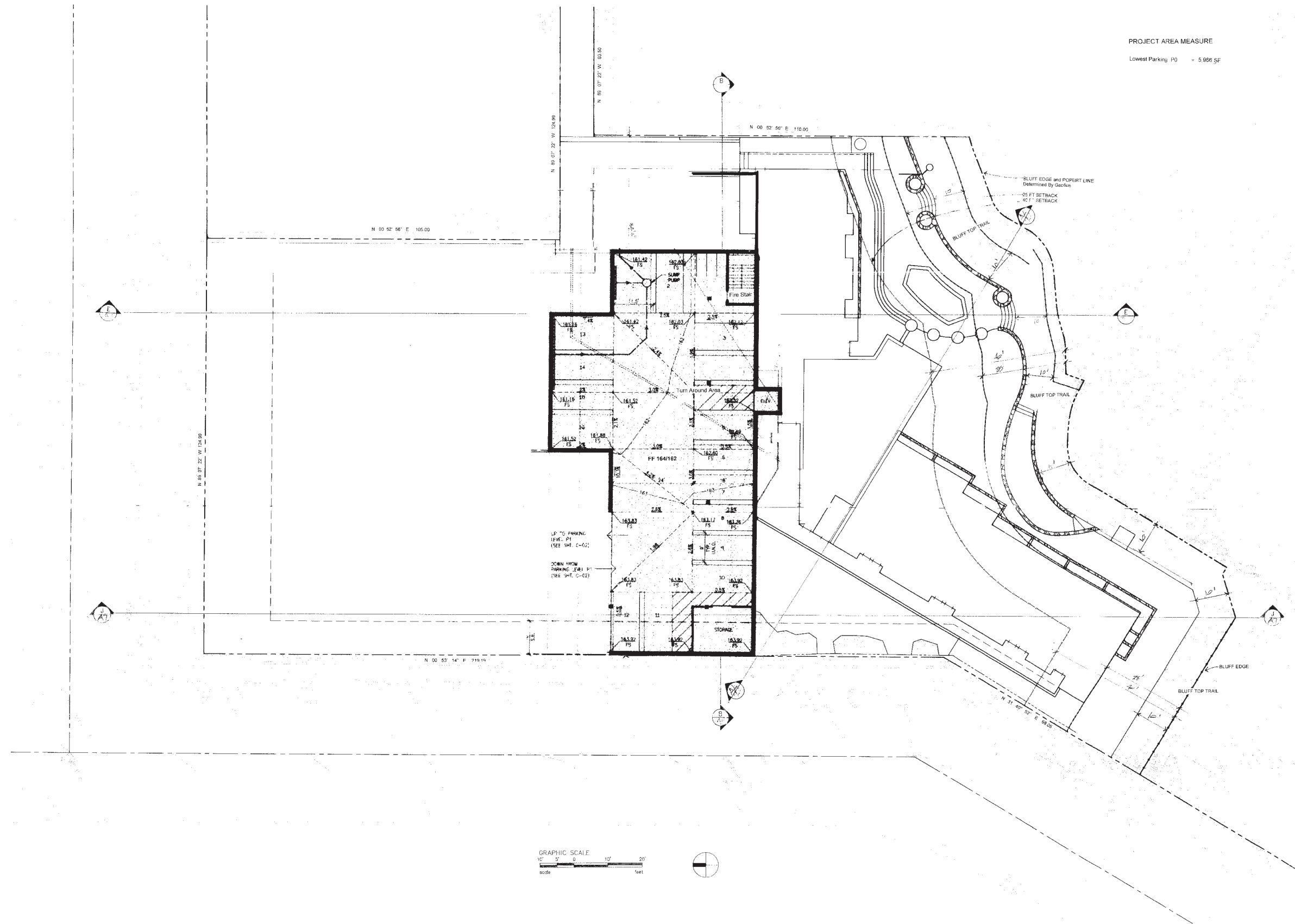
- 14. Bird Strike Prevention**
Project glass shall be as certified by the American Bird Conservancy
- Guardian Glass Bird 1st Ech 17
 - Berthelom Wall Systems - Lamberts - Clarissimo
 - Other certified equal
- Fences and Gates - There are none this design
- Building Project railings:
- Solid top rail bar
 - Vertical dark bronze metal bar pickets provide visibility and recognition to prevent strikes
 - Viewing areas railings are SS cable rails
 - No clear glass or plastic rail panels
- SPECIFICATION**
- Copper Roof is green patina finished standing wide batten 3 inch seams - see sample
- Soffit & Fascia solid cedar wood stepped design and 6 inch width planks V-jt
- Railing of solid hardwood with solid color stain finish and LP clear coats - museum bronze finish metal - post top light fixtures 15 watt copper patina finish - see photo 3

- SPECIFICATION**
- Copper Roof is green patina finished standing wide batten 3 inch seams - see sample
- Soffit & Fascia solid cedar wood stepped design and 6 inch width planks V-jt
- Copper Hat light of 16#SF copper with formed ribs, hemmed edges and an brazed copper tubing frame
- Coral Stone cap and trim of 18 inch vertical one piece with mitered corners - see sample
- Coral Stone field honed finish surface stones set tight with no grout - see photo 2
- Railing of solid hardwood with solid color stain finish and LP clear coats - bronze finish metal - post top light fixtures 15 watt copper patina finish - see photo 3
- Shutters solid wood with wide 3 inch fixed blades in solid color stain finish - see color samples
- Coral stone base and trim base (same) single vertical piece with mitered corners rough split face

RESORT HOTEL at CANNON'S
DANA POINT, CALIFORNIA

SECTIONS
April 30, 2021
February 22, 2021
March 22, 2018

A 9



PROJECT AREA MEASURE
 Lowest Parking P0 = 5,956 SF

GRAPHIC SCALE
 1" = 20'
 scale feet

USCO, LLC of Hawaii 677 Ala Moana Blvd. Suite 1003 Honolulu, Hawaii 96813 Phone: 808-488-5357 Fax: 808-488-4115 www.usco.com
 RESORT HOTEL at CANNON'S
 DANA POINT, CALIFORNIA
 PARKING EXTENSION - LOWEST LEVEL -- P0
 GENERAL ELEVATION '65
 April 30, 2021
 March 10, 2021
 March 22, 2016
 A 2.1

OC CODE : SEC. 7-9-128.6
 Balconies, decks, exterior stairways may project 3 feet
 into any sideyard setback and 5 feet into any front or
 Rear setback.

OC CODE : SEC. 7-9-128.7
 Eaves, cantilevered roofs may project maximum 40%
 into any side setback and 25% into any front or rear
 Setback.

HARVESTING AND IRRIGATION

Rain Harvesting System consists primarily of a large flat roof area holding a
 Tremco Semi-intensive use vegetated system (VR Max B) which can retain 4
 gallons per sq ft. This water is stored in concrete tanks located in the basement
 floor. Additionally all constructed concrete planters located principally along
 Green Lantern and the Pool Deck planters harvest 6 gallons per sq ft and also
 lead these basement storage tanks.
 The Pool Deck hard surfaces, High Flat Roof areas, Exterior Building Wall and
 the Courtyard Cafe also collect rainwater and feed the harvest tanks.
 Distribution to planting is by drip system to control evaporative loss as well as
 provide only the amounts of water needed.
 Sensors at each key point initiate watering cycles at a time and duration signaled
 to the smart system controller.
 Moisture collected from atmospheric contact is accounted for by this systems
 sensors.
 Excess harvest water is plumbed as grey water for toilet flushing.

MANAGEMENT

Best management practices (BMP) are applied to the water usage in individual
 hotel rooms by distribution of educational print material descriptive of the hotel
 usage policies and methods. Restaurant kitchen practices are governed through
 both conservation focused equipment and a training of employees.

VEGETATED ROOF

The central element of the rain harvesting system is the semi-intensive use P2
 type system. This uses plastic waffle plates as a base to retain rainwater. The
 soil mix is selected to create a natural meadow appearance with sedum, herbs,
 perennials and small shrubs. The Tremco VR Max B is incorporated into the
 design.

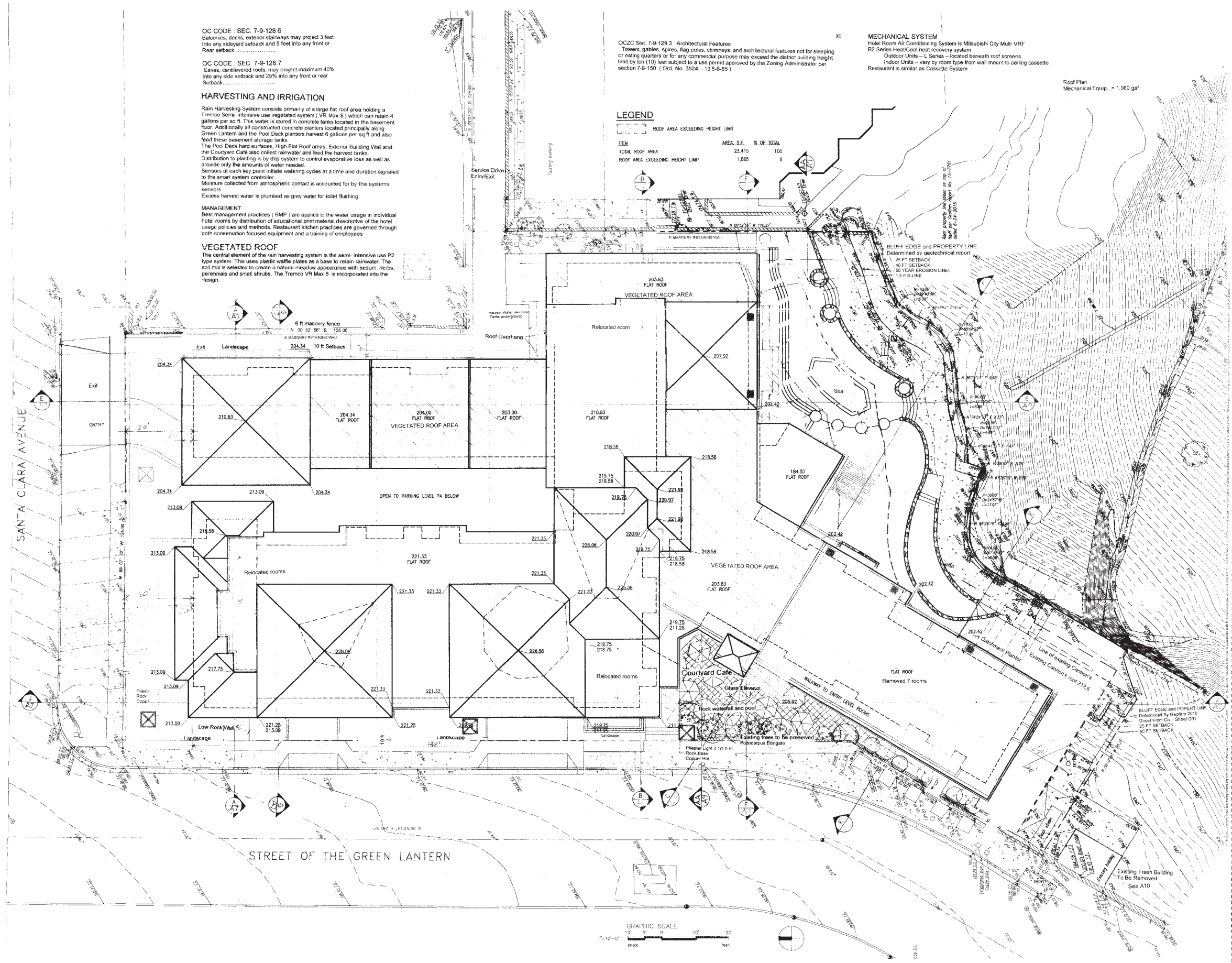
LEGEND

ITEM	AREA, S.F.	% OF TOTAL
TOTAL ROOF AREA	23,415	100
ROOF AREA EXCEEDING HEIGHT LIMIT	1,865	8

MECHANICAL SYSTEM

Hotel Room Air Conditioning System is Mitsubishi City Multi VRF
 R2 Series Heat/Cool heat recovery system
 Outdoor Units - L Series - located beneath roof screens
 Indoor Units - vary by room type from wall mount to ceiling cassette
 Restaurant is similar as Cassette System

Roof Plan
 Mechanical Equip. = 1,080 gsf



RESORT HOTEL at CANNON'S
 DANA POINT, CALIFORNIA

ROOF PLAN

April 30, 2021
 February 22, 2021
 March 22, 2018

A 6

1. Revised Project Plans. These April 30, 2021 Revised Project Plans are in substantial conformance with the plans dated May 29, 2018, modified according to the following:
 - A. Final Foundation Plans including a Clear Span and Truss Foundation System for the Western Bluff and Landside Zone area of the development and the Carrievored Foundation Design for the Eastern Bluff area of the development are consistent with the draft foundation initial and memorandum prepared by GeoTm dated November 5, 2020, and revised January 6, 2021. See New Final Foundation Design - Sheet A11.
 - B. The proposed western portion of the hotel structure located where the Cannons Seaside Grill Restaurant currently exists, is modified consistent with the draft exhibits prepared by Gaines & Stacey LLP submitted on November 30, 2020 (Exhibit 19) such that no development exceeds the top of curb of the adjacent Street of the Green Lantern located at approximately 196.00 ft., except for transparent safety fenestrations and the proposed hotel room layout has been modified to include a maximum total of one hundred (100) rooms within the proposed building envelope of the structure to recuperate the seven (7) hotel rooms eliminated through this modification; and any future request to convert the roof of this modified western portion of the hotel to a roof deck shall require a coastal development permit - Sheets SP1 for Data, A 2.2, A 5.1, A 5.2 for plan locations, the affected sections and elevations throughout are revised to show these revisions. NOTE: the revisions are all within the approved building envelope.
 - C. The proposed public view area located at the adjacent western property owned by the City of Dana Point (Exhibit 2 and Exhibit 3, page 2) has been revised such that no development exceeds the top of curb of the adjacent Street of the Green Lantern located at approximately 196.00 ft., except for transparent safety fenestrations - See Sheet A 10.
 - D. The 10 ft. wide paved blufftop public walkway design is free of any development that would impede public access, including side yard fences/walls, and shall terminate at the same grade as the required blufftop public access walkway located at the 3433 Street of the Blue Lantern property, such that the connection of the proposed paved blufftop public walkway on the project site can immediately connect with adjacent paved blufftop public walkway, once the adjacent paved blufftop public walkway is completed. Shown on Sheet SP1, A 2.2, and LS2.
 - E. Eight (8) Electric Vehicle (EV) charging stations are shown to be installed in the hotel parking facility for use by hotel guests and employees - 4 duplex stations serving 8 charging stalls are shown on Lobby Level Sheet A4 - note one duplex is located at public stalls.
 - F. Conditions for the future expansion of Electric Vehicle (EV) charging stations are noted to be provided at all parking levels. See note A3.1.
 - G. Conditions for the future installation of Solar Power panels/facilities shall be installed per electrical engineering consultants specification. Note Sheet SP1.
 - H. The buildings to be constructed exceed Title 24 Standards (e.g. CalGreen Tier 1 or 2). Note See Sheet SP1.
 - I. Programmable Thermostat Timers shall be installed. Note See Sheet SP1.
 - J. IT Data Center Commissioning and Verification of Energy Savings shall be completed. See Note SP1.
 - K. Energy Efficient Appliances shall be installed. See Note SP1.
 - L. Energy Efficient Boilers shall be installed. See Note SP1.

- 14. Bird Strike Prevention - See A9 Enlarged Wall/Column**
Project glass shall be as certified by the American Bird Conservancy
- Guardian Glass Bird 1st Etch 17
 - Benchmark Wall Systems - Lamberts - Clarissimo
 - Other certified equal
- Fences and Gates - There are none this design
- Building Project railings:
- Solid top rail bar
 - Vertical dark bronze metal bar pickets provide visibility and recognition to prevent strikes
 - Viewing areas railings are 55" cable rails
 - No clear glass or plastic rail panels

CONSULTANT TEAM

Architect
Lancor Architects Inc
Joe Lancor AIA C7745
617 228 9450

Geotech
Stoney Miller Consultants Inc
Kevin Trigg PE
Chief Engineering Geologist
949 484 2122

Civil Engineer
Toal Engineering Inc
Adam Toal PE
949 482 8586

Structural Engineer
Libbey Heywood Inc
Steven Heywood SE CE
608 554 7890

RESORT HOTEL AT CANNON'S

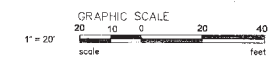
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TP 01-2 SITE TOPO AND BOUNDARY SURVEY
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A 2.2 GROUND LEVEL HOTEL - RESTAURANT - CAFE - PARKING P1
A 3.1 SECOND LEVEL HOTEL - PARKING ENTRY/EXIT P2
A 3.2 PARKING EXTENSION P3 - RESTAURANT AREA
A 4 ENTRY LEVEL - LOBBY - SPA
A 5.1 HOTEL E2 LEVEL
A 5.2 HOTEL E3 LEVEL
A 6 ROOF PLAN
A 7 ELEVATIONS AND SECTIONS
A 8 SECTIONS AND ELEVATIONS
A 9 SECTION
A10 REPURPOSED STRUCTURE
A11 FINAL FOUNDATION DESIGN SPECIAL AREAS
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LS 2 LANDSCAPE PLAN - SCHEDULE
LS 3 VEGETATED ROOF PLAN

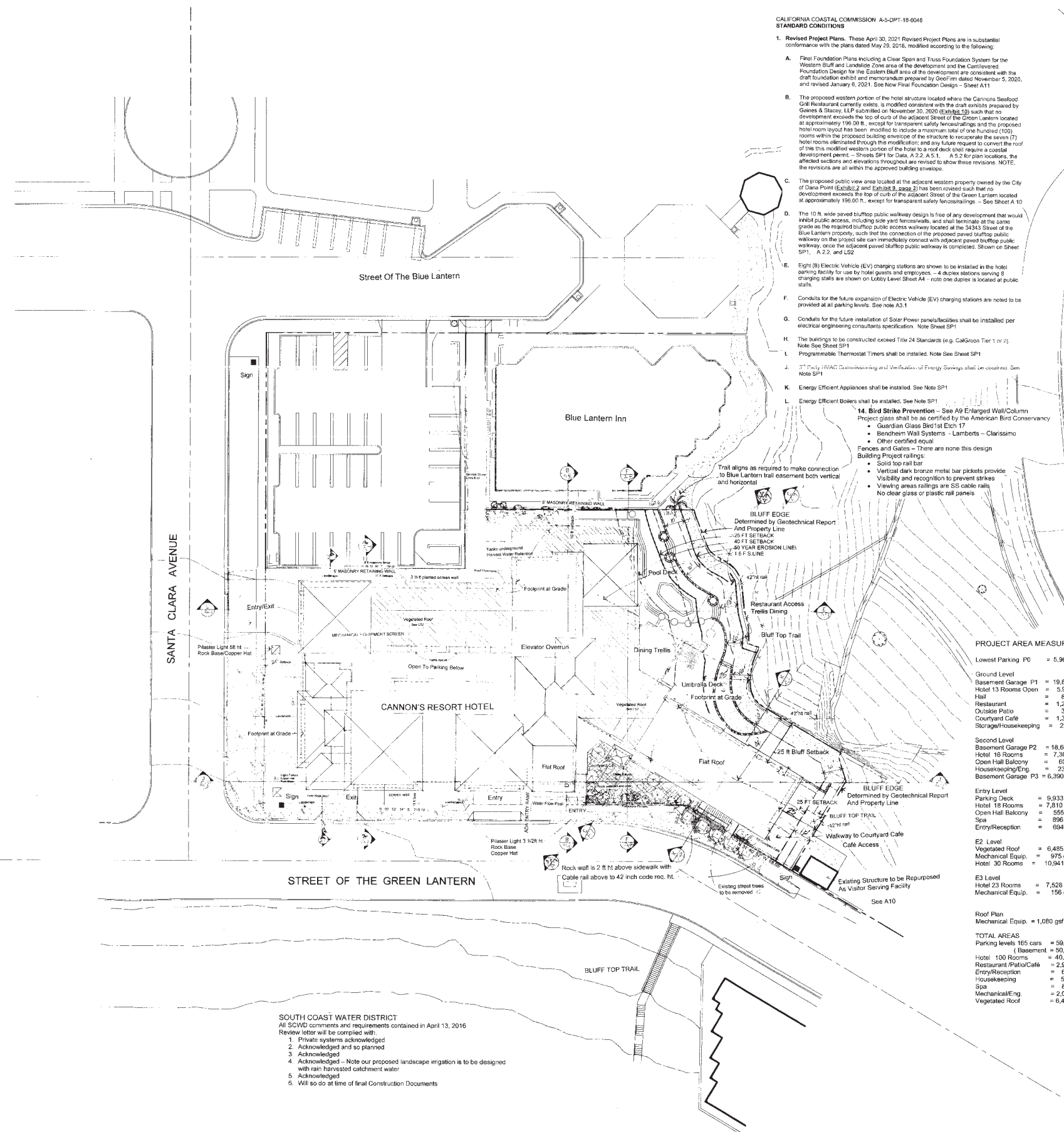
- CIVIL**
C 01 PRELIMINARY GRADING AND DRAINAGE PLAN - LEVEL P0
C 02 PRELIMINARY GRADING AND DRAINAGE PLAN - LEVEL P1
C 03 PRELIMINARY GRADING AND DRAINAGE PLAN - LEVEL P2
C 04 PRELIMINARY GRADING AND DRAINAGE PLAN - LEVEL P3
C 05 PRELIMINARY GRADING AND DRAINAGE PLAN - LEVEL P4
C 06 PRELIMINARY GRADING AND DRAINAGE PLAN - BLUE LANTERN
C 07 SECTIONS 1
C 08 SECTIONS 2
C 09 SECTIONS 3

- DATA**
Land Area : 40,188.5 sf 0.923 acres
Zoning : Coastal Visitor Commercial CVC
Dana Point Specific Plan
Parking : OZC Section 7-9-145.6
• Hotel : 1 per Guest Room @ 100 Rooms = 100 cars
• Spa : 1 per 150gsf @ 892.44gsf = 6 cars
• Restaurant : 1 per 100gsf up to 3,000gsf
o Restaurant @ 1290gsf
o Outdoor Dining @ 384gsf
o Courtyard Cafe @ 1322gsf
• TOTAL GSF = 2,996 GSF = 30 cars
• TOTAL PARKING PROVIDED = 136 cars
• Additional Onsite Parking Provided = 29 cars
• Public Free Parking Provided = 6 cars
• TOTAL PARKING PROVIDED ONSITE = 165 cars

- PARKING**
Level Stalls • NOTE : 8 EV stations at Entry Level
- | | |
|--------------|---|
| P0 | = 16 |
| P1 | = 60 |
| P2 | = 46 4 EV Charging Stations P 2 |
| P3 | = 18 |
| P4 | = 25 |
| TOTAL | = 165 NOTE : EV Charging Stations throughout garage stalls shall be provided prepared for future EV stations |



- Bird Strike Prevention**
Project glass shall be as certified by the American Bird Conservancy
- Guardian Glass Bird 1st Etch 17
 - Benchmark Wall Systems - Lamberts - Clarissimo
 - Other certified equal



PROJECT AREA MEASURE

Lowest Parking P0	= 5,966 gsf
Ground Level	
Basement Garage P1	= 19,804.5 gsf
Hotel 13 Rooms Open	= 5,925 gsf
Hall	= 624 gsf
Restaurant	= 1,290 gsf
Outside Patio	= 384 gsf
Courtyard Cafe	= 1,322 gsf
Storage/Housekeeping	= 252 gsf
Basement Garage P3	= 6,390 gsf
Second Level	
Basement Garage P2	= 18,604.5 gsf
Hotel 16 Rooms	= 7,308 gsf
Open Hall Balcony	= 605 gsf
Housekeeping/Eng	= 232 gsf
Basement Garage P3	= 6,390 gsf
Entry Level	
Parking Deck	= 9,933 gsf
Hotel 18 Rooms	= 7,810 gsf
Open Hall Balcony	= 555 gsf
Spa	= 896 gsf
Entry/Reception	= 694 gsf
E2 Level	
Vegetated Roof	= 6,485 gsf
Mechanical Equip.	= 975 gsf
Hotel 30 Rooms	= 10,941 gsf
E3 Level	
Hotel 23 Rooms	= 7,526 gsf
Mechanical Equip.	= 156 gsf
Roof Plan	
Mechanical Equip.	= 1,080 gsf
TOTAL AREAS	
Parking levels 165 cars	= 59,978 gsf
(Basement)	= 30,045 gsf
Hotel 100 Rooms	= 40,132 gsf
Restaurant/Patio/Cafe	= 2,996 gsf
Entry/Reception	= 694 gsf
Housekeeping	= 832 gsf
Spa	= 896 gsf
Mechanical/Eng.	= 2,055 gsf
Vegetated Roof	= 6,435 gsf

SOUTH COAST WATER DISTRICT
All SCWD comments and requirements contained in April 13, 2016 Review letter will be complied with:

1. Private systems acknowledged
2. Acknowledged and so planned
3. Acknowledged
4. Acknowledged - Note our proposed landscape irrigation is to be designed with rain harvested catchment water
5. Acknowledged
6. Will so do at time of final Construction Documents

RESORT HOTEL at CANNON'S
DANA POINT, CALIFORNIA

SITE PLAN
SP1

April 30, 2021
February 22, 2021
MAY 29, 2018



BERKPROPERTIES

428 Old Newport Blvd
Newport Beach, CA 92663

Office: 949-873-2106

info@berkproperties.com

www.berkproperties.com